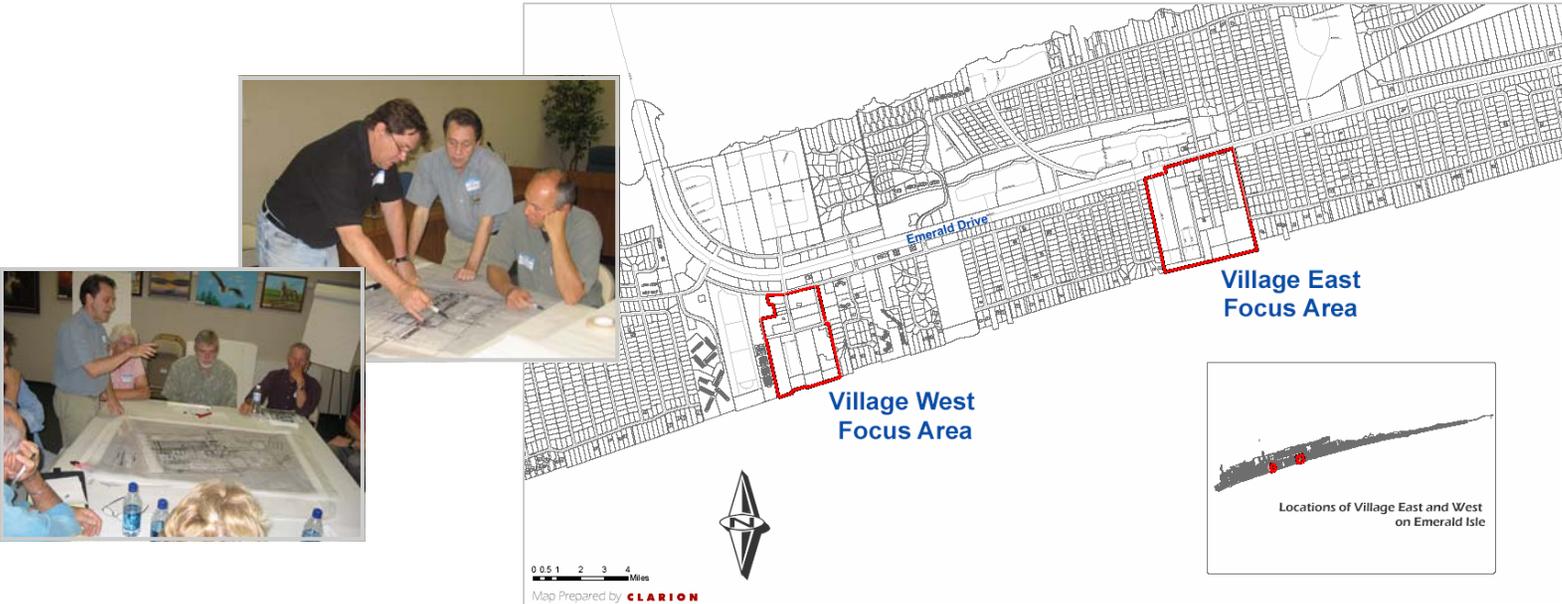


Emerald Isle, North Carolina

Village East and Village West Focus Areas Design Concepts Report



Prepared by Clarion Associates
August 2006

TABLE OF CONTENTS

Executive Summary	1
How to Use Report	2
Background/Purpose	3
Purpose of Project	3
Planning Areas	4
Village East Focus Area	4
Village West Focus Area	4
Public Design Workshop	6



Village East Focus Area

Existing Conditions	7
Land Uses	7
Transportation/Access	8
Infrastructure	8
Ownership Patterns	9
Strengths/Concerns/Opportunities	9
Design Concepts	10
Key Design Principles	10
Design Concept	12
Stormwater and Infrastructure Elements	13
Accessibility and Circulation	14
Overall Form	15
Design Concepts Summary	16

Village West Focus Area

Existing Conditions	17
Land Uses	17
Transportation/Access	18
Infrastructure	18
Ownership Patterns	19
Strengths/Concerns/Opportunities	19
Design Concepts	20
Key Design Principles	20
Design Concept	21
Stormwater and Infrastructure Elements	22
Accessibility and Circulation	23
Overall Form	24
Design Concepts Summary	25



Executive Summary



Emerald Isle will be experiencing population growth over the next 20 years. This growth will bring opportunities for new development and redevelopment of areas on the island. With this new growth will come many choices for the type and design of these new developments.

The purpose of this *Design Concepts Report* is to offer conceptual design guidelines for the Village East and Village West Focus Areas as identified in Emerald Isle's CAMA Land Use Plan. These concepts were developed with input from citizens and design experts that participated in a Public Design Workshop for the two sites, as well as the 2004 CAMA Land Use Plan. Developers and property owners are encouraged to use the concepts included in this report as a guide in preparing future development plans for the focus areas.

The Village East site represents a significant opportunity for Emerald Isle — a new Town Center. The keys to achieving this vision are incorporated into the design concepts presented in this report. Key concepts include:

- Preservation of the Bogue Inlet Pier and enhancements to the area surrounding the pier to allow it to serve as an anchor for the Town Center;
- Incorporating a fine grained mix of commercial and residential uses and providing pedestrian amenities to encourage active streetscapes and neighborhoods; and
- The continuance of Bogue Inlet Drive to serve as the main corridor/avenue from Emerald Drive to the pier.

The Village West site is a significant redevelopment opportunity for Emerald Isle, and could continue to serve as the island's hub for entertainment and visitor accommodations. The vision in the CAMA Land Use Plan is to build on existing family entertainment activities in Village West, and to look for opportunities to enhance and expand these opportunities. Key design principles for the site include:

- Opportunities to improve access and circulation so that street reconfigurations can become part of redevelopment initiatives, and pedestrian access throughout the site is improved;
- Expansion of existing hotel, retail, and entertainment uses are encouraged and could be developed at a scale larger than currently exists to reinforce the area as an entertainment center for locals and visitors; and
- Encouragement and incentives for development of multi-family housing that should be developed in concert with retail uses as a series of mixed-use blocks.

This report expands upon these design concepts and provides guidance to future developers of these sites.



How to Use the Design Concepts Report



The purpose of this *Design Concepts Report* is to offer conceptual design guidelines for the Village East and Village West Focus Areas as identified in Emerald Isle's CAMA Land Use Plan. Developers and property owners are encouraged to use the concepts included in this report as a guide in preparing future development plans for the focus areas.

This report is organized to provide an overview of the design concepts planning process ([Background and Purpose](#)), documentation of the existing conditions within the Village East and West Focus Areas ([Existing Conditions](#)), and finally discussion of the design concepts ([Design Concepts](#)). The last two sections are located under the Village East and West Focus Area headings.

The [Background and Purpose](#) section discusses the purpose of the Village East and West Focus Areas planning process and its relationship to Emerald Isle's 2004 CAMA Land Use Plan. It also includes general descriptions of the planning areas and an overview of the public design workshop that kicked off the planning process.

The report then focuses on the Village East and West Focus Areas separately and discusses the [Existing Conditions](#) of these sites, including existing land uses, transportation facilities and access, infrastructure, ownership patterns, and feedback from citizens on the strengths, concerns and opportunities for improvement for both of the focus areas.

The report then outlines and discusses the [Design Concepts](#) for the two planning areas. Using graphics to illustrate the concepts, the report presents the basic design principles for each focus area, and provides detailed design guidelines relating to new development, transportation and circulation design, environmental constraints, and streetscape improvements.

These design guidelines are not mandatory provisions, but are instead a tool for land developers to use when developing design concepts for redevelopment within the Village East and West Focus Areas. These guidelines complement applicable development standards outlined in the Emerald Isle zoning ordinance.



Background and Purpose



VW



VE

Purpose of Project

More and more, living at the beach is becoming popular for both seasonal visitors and year-round residents. New development, redevelopment, and population growth are expected to continue in the Town of Emerald Isle over the next 20 years. With this new development will come several choices for the community. What type of development will be appropriate for Emerald Isle? How will this be integrated with existing development and the natural environment? Will new development require additional public facilities and services?

In light of these future choices, Emerald Isle developed and adopted the CAMA Land Use Plan in 2004. It sets out a clear vision for the future of the island. Objectives include careful attention to environmental management, maintaining a small-town, home-grown atmosphere, enhancement of beach and sound access, and land use patterns that are sensitive to Emerald Isle's natural environmental systems.

The Plan envisions an upgrade of existing residential and commercial areas, but in a manner that maintains and creates a "village" type atmosphere that is pedestrian-friendly, promotes successful businesses, is aesthetically pleasing, and fosters a greater sense of community.

Two major redevelopment sites are identified in the Plan: Village East and Village West. Village East serves as the heart of Emerald Isle and future development on this site is intended to include a mixture of residential and commercial

uses with a focus on the Bogue Inlet Pier. The Plan identifies this site as the future site of a more traditional mixed-use Town Center for Emerald Isle. Village West serves as the site of amusement park activities and commercial uses and is envisioned as a potential location for new motels or hotels, as well as entertainment and commercial uses. The Plan suggests that both areas should be designed in a manner that is consistent with the community's small-town image.

In June 2006, the Town of Emerald Isle held a design workshop for these two sites. The workshop was attended by approximately 65 citizens, developers and elected officials interested in the future of these two sites. The input provided through the design workshop is the basis for the Village East and West design concepts in this report.

The purpose of this *Design Concepts Report* is to offer design concepts for these two redevelopment sites that promote the Town's vision and move closer to productive redevelopment activity in these two locations. Elected officials, planning staff, area developers and property owners can use these concepts as a guide for developing future development plans in the Village East and West focus areas.

For more information on the town's planning objectives, please refer to the 2004 CAMA Land Use Plan.

Background and Purpose

Village East Focus Area

The Village East Focus Area is a subarea of the Village East area identified in the 2004 CAMA Land Use Plan. The area centers on Bogue Inlet Drive and is bound by Emerald Drive (N.C. 58) to the north, Holly Street to the east and Lamroc Drive to the west. The property provides public beach access to the south, including the Bogue Inlet Pier. (See the Village East and West Context Map on Page 5.)



The Village East Focus Area encompasses 45 acres of land, including 53 land parcels, and five streets. Current uses on the site include single-family residential homes, mobile homes, retail shops, commercial offices, restaurants, motels, surface parking, and the Bogue Inlet Pier building. The area is primarily bordered by single-family lots to the east and west of the site.

Historically, this site has served as a main commercial center for community activity.

The 2004 CAMA Land Use Plan identifies this location as an appropriate location for a future mixed-use Town Center that enhances the small-town image of Emerald Isle.

Village West Focus Area

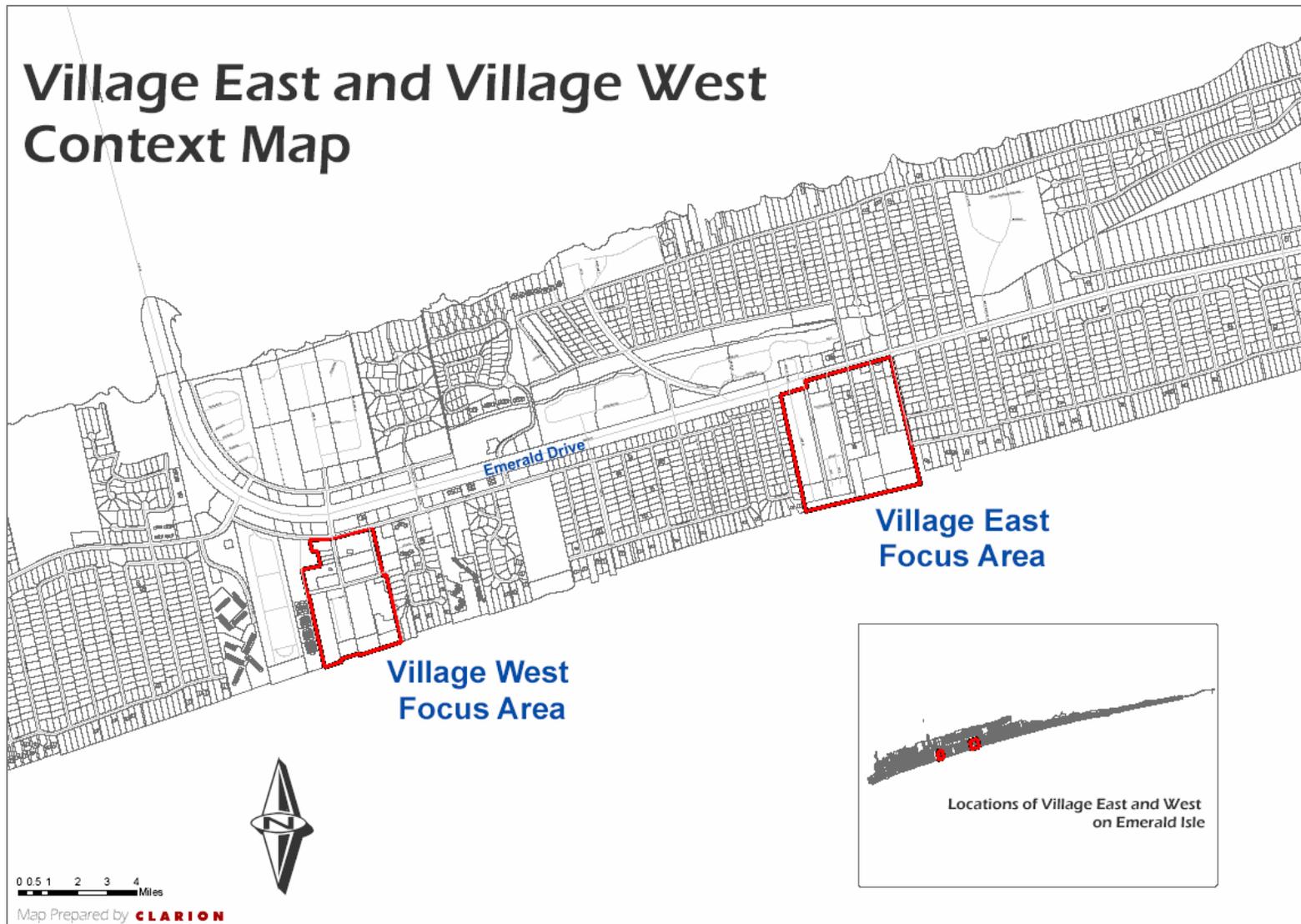
The Village West Focus Area is a subarea of the Village West area identified in the 2004 CAMA Land Use Plan. The area is centered along Islander Drive and is bound by Reed Drive to the north, and Holiday Trav-I Park to the west, Boardwalk Avenue to the east, and has public beach access to the south. (See the Village East and West Context Map on Page 5.)

The Village West Focus Area encompasses approximately 30 acres of land, including 21 parcels and 8 streets. The site consists primarily of mobile home units, with amusement park and commercial uses at the north-end of the site, and a small motel in the center of the site. The town's new regional surface parking lot is located in along the western border of the focus area. The area is bordered by single and multi-family housing.



The 2004 CAMA Land Use Plan encourages redevelopment of this area, and recognizes that some land uses will need to be reconfigured to make redevelopment feasible. Vacation lodging, entertainment, retail and restaurant services are among the primary future uses identified for this site.

Background and Purpose



Emerald Drive (N.C. 58) links the Village East and Village West focus areas.



Background and Purpose



Public Design Workshop

The 2004 CAMA Land Use Plan identifies the general principles for developing the Village East and West areas. To further refine these principles and to provide additional guidance on redevelopment of these sites, The Town of Emerald Isle initiated a long-range planning process for these two areas. The process began with a Design Workshop held on June 3, 2006 at the Emerald Isle Town Hall. This one-day workshop brought together elected officials, town staff, citizens, local landowners, land-use planning and design experts, and other interested parties to discuss the future vision for the Village East and West Focus Areas. Approximately 65 persons attended the workshop over the course of the day.



Each workshop session kicked off with an overview presentation of the planning process, objectives for workshop, and a short discussion on the process and objectives. Participants then broke out into small groups led by the design professionals to discuss the strengths and concerns for the sites, ideas for redevelopment, environmental constraints, and other design-related concerns. The designers then used this information and worked collectively to develop joint concepts for the site and presented these ideas to the group. The group then discussed and provided feedback on these general design concepts.

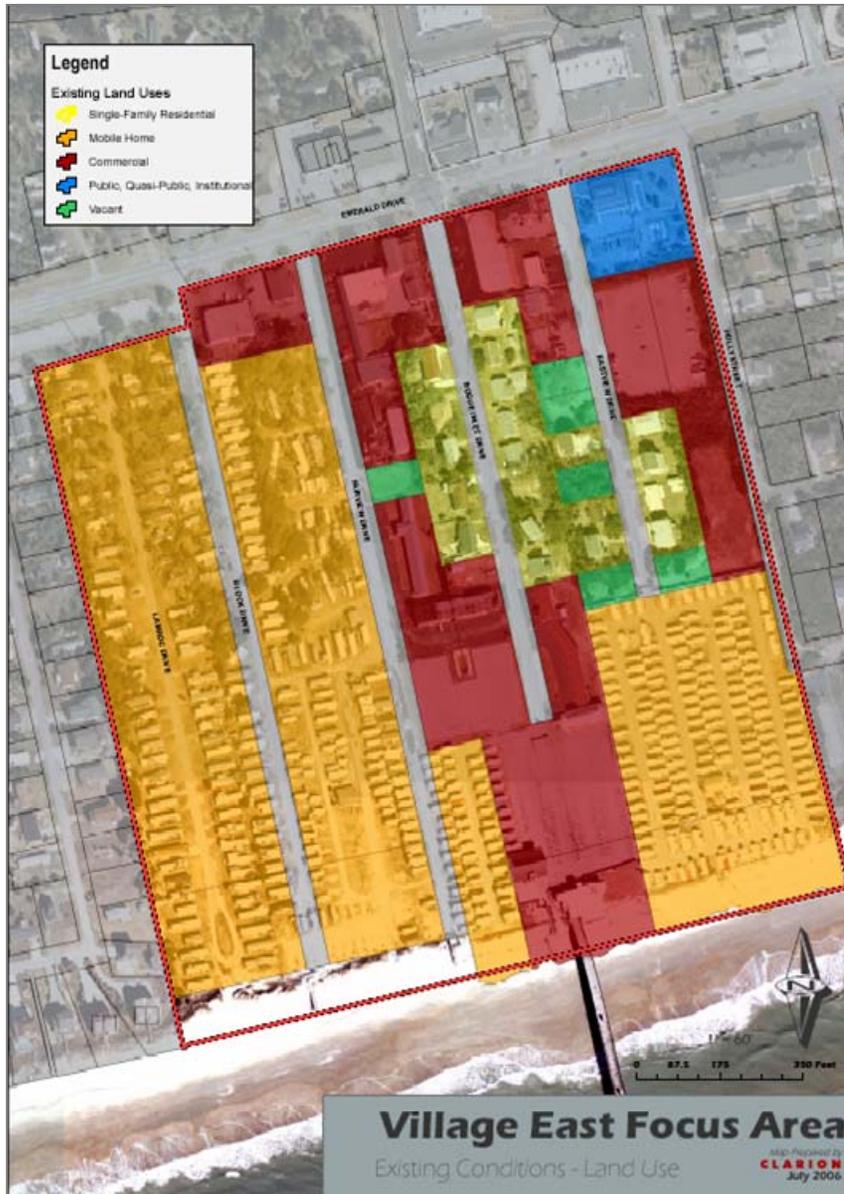


The Design Workshop was organized in half-day work sessions. The morning work session focused on the Village East Focus Area, and the afternoon work session focused on the Village West Focus Area. The work sessions were facilitated by Clarion Associates, a private land-use planning firm, and co-facilitated by three design professionals (two architects and one landscape architect).

design professionals (two architects and one landscape architect).

The ideas, sketches and concepts that resulted from the Design Workshop are the basis for development of the design concepts presented in this report.

Existing Conditions - Village East



Land Uses

The Village East Focus Area, which has served historically as the main commercial area for the island, currently consists of a mix of land uses. The majority of land within the focus area is considered developed, except for a few vacant residential lots. Parts of the focus area fall under four different zoning districts: commercial, multi-use residential, camping, and mobile home zones.

Approximately half of the entire focus area is composed of residential land uses. These residential uses include mobile home parks and RV lots located east of Fairview Drive and south of Bogue Inlet Drive, and single-family lots located along Bogue Inlet Drive and Eastview Drive. The location of residential uses are highlighted in yellow and orange on the Existing Conditions map shown on the left.



The commercial uses in this area primarily occur along Emerald Drive (N.C. 58), Bogue Inlet Drive and Fairview Drive. These uses include restaurants, a small inn, and commercial offices. The Bogue Inlet Pier, located south of Bogue Inlet Drive, is a popular tourist and fishing destination and an important amenity for the island. The pier building and surface parking just north of the pier receive much foot traffic by beach goers and fisherman throughout the year. The commercial areas are highlighted in red on the map to the left.

Existing Conditions - Village East



Transportation/Access

The main point of entry to the Village East Focus Area is at the signalized intersection of Emerald Drive and Bogue Inlet Drive - one of the more heavily traveled intersections on the island. Bogue Inlet Drive provides access to points north of the site.



Transportation infrastructure within the Village East Focus area is primarily oriented for automobile use. This consists of four streets that access the site from Emerald Drive, and several smaller streets that provide internal circulation throughout the site. These smaller, local streets do not have marked lanes or curbs, and do not connect to adjacent streets outside the focus area.



Sidewalks are provided along a 400 foot strip on the east side of Bogue Inlet Drive adjacent to single-family lots. The remainder of the Village East Focus Area does not currently offer sidewalks, greenways or trails for pedestrians and bicyclists. Pedestrians must utilize the street network to access the pier and the public beach entrance from Emerald Drive from other points within the focus area. The town has planned for pedestrian access improvements along Emerald Drive at the north end of the focus area.

Infrastructure

All lots in the Village East Focus Area have access to or are served by water and electrical utilities. Because Emerald Isle is not served by a central sewer system, uses within the focus area are served by either individual septic tanks, shared septic tanks, or package treatment plants. There are no plans to develop a centralized sewer system on the island, and it is expected that private systems will continue to serve the focus area into the future.

There is no stormwater management system currently in place in the focus area. The 2004 CAMA Land Use Plan has identified stormwater drainage problems for the downtown area south of Emerald Drive, including the commercial area along Bogue Inlet Drive. Drainage issues have also been identified at the southern end of the focus area, where debris from the neighborhood and from pier users runs off the land and into ocean waters.



Emerald Isle has adopted stormwater management performance and design standards for new development and redevelopment on the island, and requires a stormwater management plan prior to development to demonstrate that the standards will be met. Future redevelopment within the focus area will need to meet these standards.

Existing Conditions - Village East



Ownership Patterns

The Village East Focus Area consists of 53 individual parcels of land. Currently, the area is owned by 32 different property owners. Twenty-six (26) parcels are owned individually and the remaining 27 parcels are owned by 6 different property owners. Mobile home sites are not owned individually by the mobile home users. Each of the two mobile home parks are owned collectively by a single property owner.

Strengths

Village East Workshop participants identified several key strengths of the focus area. The key strengths identified were the public beach access, the Bogue Inlet Fishing Pier, and the current availability of affordable housing (primarily in the form of mobile home units). Much of the workshop discussion focused on the preservation of these key features.



Concerns

Workshop participants also identified key areas of concern related to future development in the Village East Focus Area. These concerns include:

- The potential for new development to limit future affordable housing opportunities;
- Potential loss of public beach access and public use of the Bogue Inlet Pier;
- The feasibility of meeting future sewage treatment needs; and
- The potential for eroding community character and small-town feel by increasing building densities and height limits for future developments.



Opportunities for Improvement

Opportunities for enhancements and improvements within the focus area were also identified. These include:

- The need for new commercial development;
- Improving on-site drainage in areas that currently experience flooding during heavy rains and storms;
- Enhancing the aesthetic character of the area;
- The need for better parking facilities;
- Streetscape improvements to beautify the area and to make it more safe and accessible to pedestrians; and
- Developing better transitions between residential and commercial uses to limit negative impacts.

Design Concepts - Village East

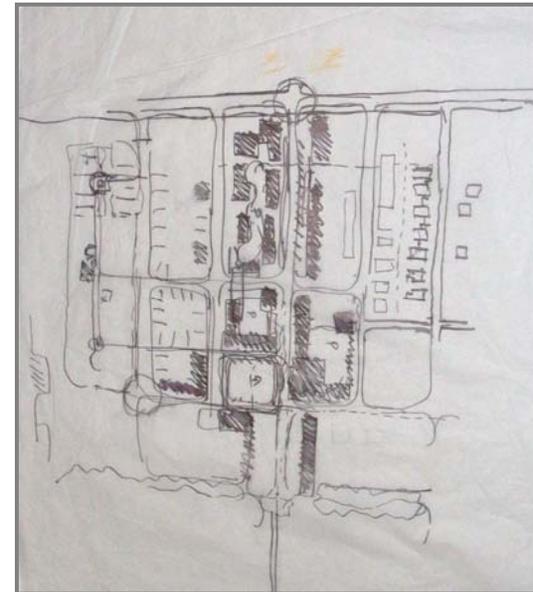


Key Design Principles

The following key design principles for the Village East site were developed from the 2004 CAMA Land Use Plan and the input provided by participants of the Design Workshop. These key principles define the future vision for the site and should be incorporated into future plans. These key principles include:

- An identifiable commercial core that serves as a town center and uses small-town, mixed-use design approaches.
- Linkages to the town center should be reinforced by incorporating residential uses around commercial/civic uses.
- Bogue Inlet Drive shall serve as the main commercial corridor, as well as the main pedestrian accessway through the area to the pier/beach.
- Sidewalks and bike paths should connect neighborhoods to the commercial areas, public access points, and other frequent destinations.
- Streets trees on public rights-of-way and landscaping on private parking areas should be part of new design plans.
- Commercial frontage on lots is preferable with residential uses located on second stories. Off-street parking should be provided behind commercial buildings.
- Adequate parking for beach and pier access should be provided.

These design principles are discussed further on the following pages.



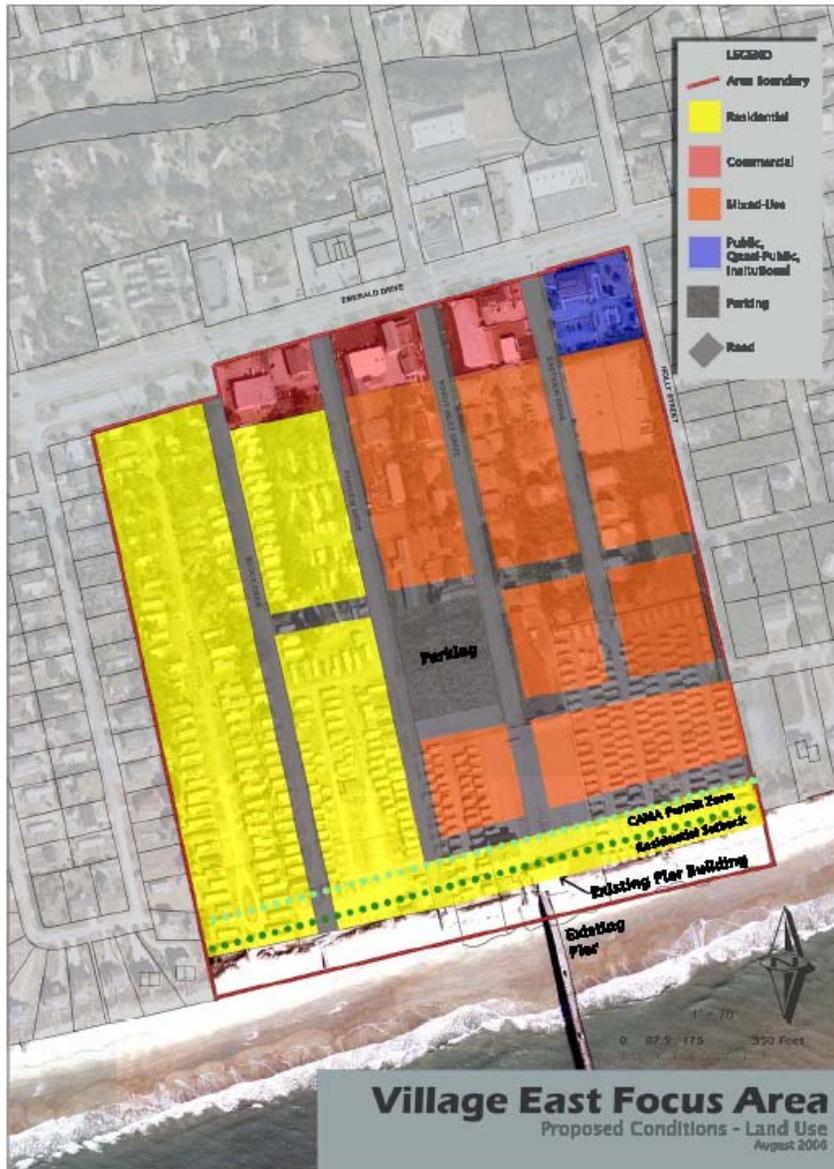
This is one of many sketch plans of the Village East site that were developed at the Public Design Workshop.

Design Concepts - Village East



This is a conceptual illustration of the Village East mixed-use Town Center.

Design Concepts - Village East



Village East Design Concept

The map to the left illustrates the vision for the Village East site. Bogue Inlet Drive will serve as the main corridor from Emerald Drive to the beach and pier. This corridor will provide a mixed-use pedestrian-oriented environment that will include commercial and residential opportunities, as depicted in the orange color on the map located to the left. New streets that run east-to-west should break up the site into neighborhood scale blocks. Parking for the commercial and residential uses should be located at the interior of these blocks. Ultimately, a fully built-out, mixed-use corridor is expected from Emerald Drive to the pier. It is unlikely that all redevelopment will occur at one time. Accordingly, any redevelopment proposal should be planned and considered with anticipation of (and accommodation of) a fully redeveloped area from Emerald Drive to the beach.

The western areas of the site should incorporate low and medium-density residential uses, as depicted by the yellow shading on the map. Commercial developments should provide necessary transitions to adjacent residential uses through the provision of landscaping, building setbacks, and other design techniques.

As mandated through CAMA regulations, only lower density residential uses will be located within the CAMA permit zone that is located at the south end of the site.

Design Concepts - Village East

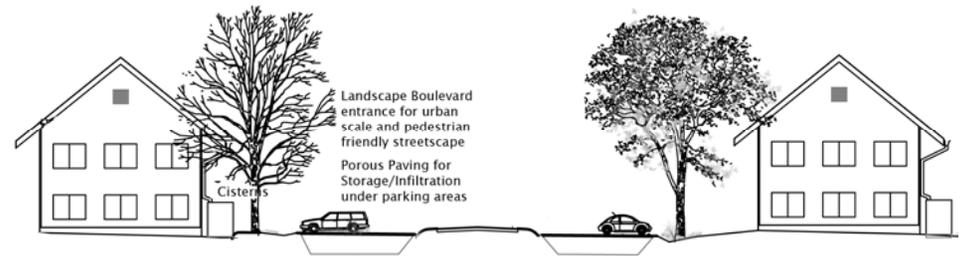


Stormwater and Infrastructure Elements

New development will require the provision of on-site sewer infrastructure, either by means of private package treatment plants or septic tanks. To the extent possible, plans for private package treatment plants should be developed to serve many structures.

All plans should incorporate on-site drainage/stormwater management systems in a manner that is consistent with CAMA regulations. Where possible, stormwater management systems should serve both to manage runoff, as well as provide aesthetic qualities. Examples of such systems include rain gardens and vegetated swales. All developments should respect CAMA permit zone and residential setbacks from dunes.

A special and unique feature of the Village East area is the building at the base of the pier. Currently home to a convenience/fishing store and a restaurant, this structure has a building footprint that does not comply with current CAMA setback rules. If the area were being newly constructed now, the building could not be placed where it is. Yet it has significant utility and value in its current location, with respect to future, continued public uses of the pier. As redevelopment plans are being drawn for Village East, attention should be given to incorporating this structure, or a rebuilt structure with the same footprint, into plans. Expansion of the building's footprint would not be possible or desirable in the context of coastal protection objectives; but retention and continued use of the existing structure, or an upgrade to the structure that keeps its current footprint, should be an anchor feature of plans for Village East.



This figure illustrates how simple techniques like porous pavers can enhance the aesthetic quality of the main Bogue Inlet corridor, while also providing necessary stormwater management.

Design Concepts — Stormwater and Infrastructure

- Sewer infrastructure should be incorporated into future development plans.
- All future developments must incorporate systems to manage drainage and stormwater runoff in a manner that is consistent with CAMA regulations.
- CAMA setbacks from dunes must be respected.
- Redevelopment of the Bogue Inlet Pier building should respect the current building footprint.

Design Concepts - Village East

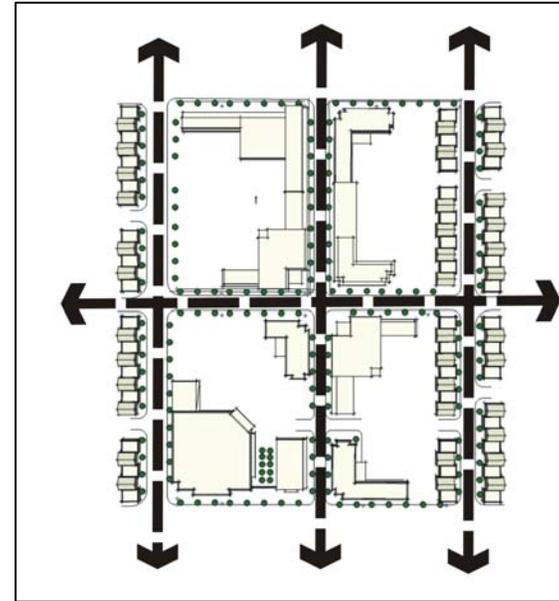


Accessibility and Circulation

An important feature of a future Town Center concept for Village East is the entrance to the area off of Emerald Drive. Bogue Inlet Drive holds great potential as a signature boulevard entrance to the mixed-use development that will occur closer to the ocean. The objective is to create an attractive roadway, lined with retail uses, sidewalks on both sides of the street, on-street parking (either parallel or diagonal), and significant streetscape landscaping that incorporates stormwater management systems.

As Bogue Inlet Drive is extended further into the site (it stops now at a parking lot), there is great opportunity for a major, "Main Street" intersection with a new east-west local street that would connect to the existing street system to the east of the Village East area and create a network of neighborhood blocks. This new intersection should have buildings on each corner that are close to the sidewalk, with an emphasis on public or retail uses of those four corners. Street landscaping should be designed to focus attention on this key new intersection.

Safe and accessible sidewalks and paths should be constructed as a component of all redevelopment projects with provisions for connections to existing pedestrian and bicycle systems. These pathways and sidewalks should be lined by street trees and appropriate street lighting. Multiple points of public access to the beach should be maintained on the site. And sidewalks and pathways should connect to these points of access. Provisions should be made for providing public parking for visitors accessing the pier and the beach.



Mixed-use developments should be broken into a pattern of regular blocks to provide frequent vehicular and pedestrian connections.

Design Concepts — Accessibility and Circulation

- Bogue Inlet Drive will continue to serve as main entrance to site.
- Sidewalks and paths should be a component of all future development plans, including connections to existing pedestrian and bicycle systems.
- East-west streets should be developed to provide connections to and accessibility from adjacent sites, and create neighborhood-scale blocks.
- Multiple points of public beach access must be maintained.
- Ample public parking should be developed to provide access to the pier and beach.

Design Concepts - Village East



Overall Form

The pier is a critical component of these design concepts. Every effort should be made to preserve the pier and public access to it, and to create uses surrounding the base of the pier that encourage public activity.

Residential uses should include mixed-use style housing as well as low or medium density single and multi-family housing. Residential densities should primarily be developed at 8 units per acre, with some areas developed at 10-12 units per acre. For much of the site, a mix of uses is highly desirable, and integration of retail uses should be achieved. Designs incorporating mixed-use developments or traditional neighborhood design may utilize higher development densities than currently found on the site. Redevelopment projects may propose to place some retail land uses for subsequent construction, but a retail presence should be established from the beginning as a part of any new development. Regulatory incentives should be instituted to allow and encourage mixed-use developments. No large-scale (100 room) hotels/motels or convention center developments should be developed on this site, but smaller hotels/motels are encouraged. Buildings should not exceed the currently established 50 foot height limit anywhere on the site.

Attention is needed to providing transitions between commercial developments that are taller or more intense in use than adjacent residential uses. Transitions can be made through setbacks, landscaping, building scale, and other design techniques to minimize negative impacts on these areas. Appropriate signage and lighting should be provided for commercial structures, and should minimize glare effects on adjacent residential uses.



In this illustration, the example on the bottom demonstrates effective use of transition features by utilizing similar roof form, materials, and building scale.

Design Concepts – Overall Form

- Preservation of the pier is a paramount objective.
- A mix of uses is highly desirable.
- Individual development plans should anticipate a fully built-out, mixed-use corridor to occur along Bogue Inlet Drive.
- Building heights should not exceed 50 feet.
- More intense development should transition to adjacent residential areas at the edge of the site to minimize negative impacts.

Design Concepts - Village East



Village East Design Concepts Summary

The Village East site represents a significant opportunity for the Town of Emerald Isle. The vision in the CAMA Land Use Plan is that this area has potential for providing the one thing that Emerald Isle has lacked: a Town Center.

The keys to achieving this vision are embedded in these Design Concepts. Fundamental, structural elements include:

- Preservation of the pier, and buildings/uses/sidewalks to take maximum advantage of this major community amenity, allowing it to serve as an anchor for the Town Center. (Much in the way a major department store serves as an anchor in a retail mall);
- Fine grained mix of uses. Retail on the ground floor, wherever possible, combined with residential uses above. Sidewalks on all commercial (and most residential) streets, with landscaping and on-street parking. Buildings up close to the sidewalk, with parking behind;

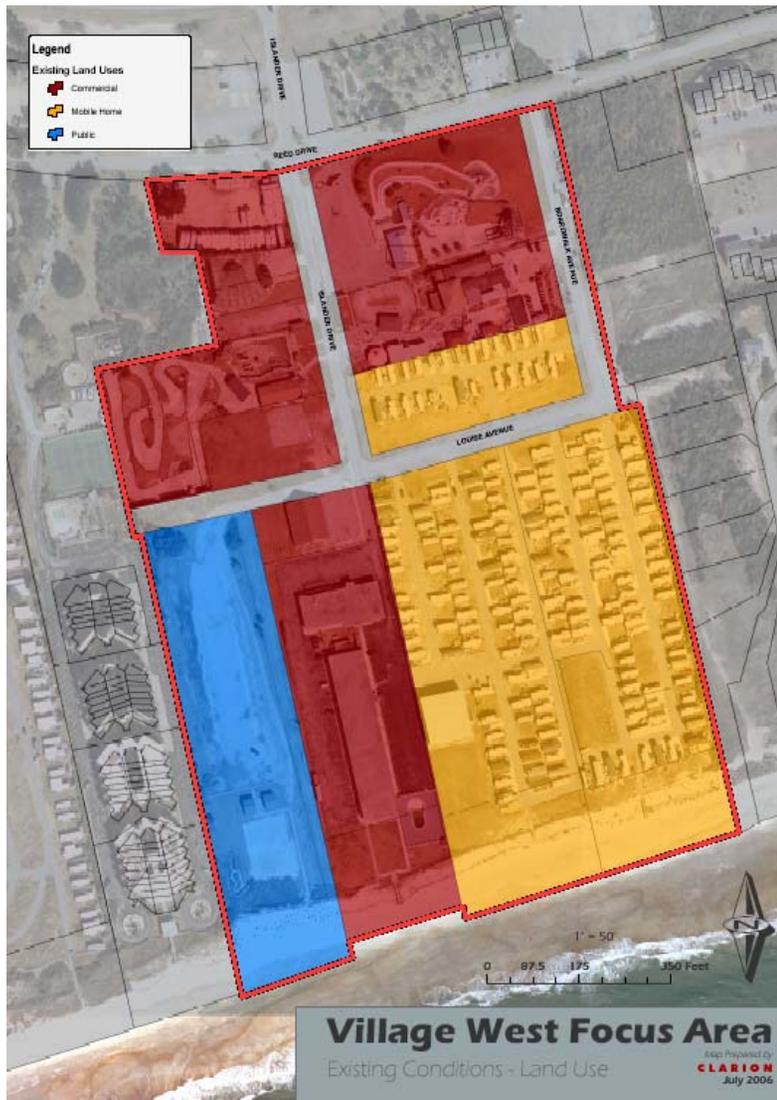


- New buildings staying within height limits currently in place;
- Bogue Inlet Drive to serve as the main corridor/avenue from Emerald Drive to the pier;
- Development along Bogue Inlet Drive should provide proximate on and off-street parking, street trees and landscaping, small-scale retail uses, and public places to gather/sit;
- A small-scale hospitality/hotel (50-room prototype) to further encourage 24-hour activity in the area;
- Multiple points of public access to the beach; and
- Re-routing of stormwater runoff away from the beach and managed on-site.





Existing Conditions - Village West



Land Uses

The Village West Focus Area, an entertainment and recreational business area, is comprised of a mix of land uses. Lands within this focus area are developed as either commercial, mobile-home residential, hotel or public uses. The focus area is covered by two zoning districts: multi-use residential and general business.

Approximately half of the entire focus area is composed of residential land uses. These residential uses include mobile home parks and RV lots located north and south of Louise Avenue on the eastern portion of the focus area. The location of residential uses are highlighted in orange on the Existing Conditions map shown on the left.



The commercial uses in this area primarily occur along Reed Drive and Islander Drive. These uses include a hotel, a light industrial business, and several entertainment facilities, such as a water park and go-cart track. The Island's new West Ocean Regional Access and Public Parking Lot is located on the western side of the site. This is the main public access to the beach from within the focus area, as well as surrounding areas. The commercial areas are highlighted in red on the map to the left and the public parking lot is highlighted in blue.



Existing Conditions - Village West

Transportation/Access

The main points of access to the Village West Focus Area are by way of Reed Drive that is located to the north of the site. Islander Drive crosses Reed Drive at the site's main intersection and provides access to points north of the site.



Transportation infrastructure within the focus area is primarily oriented for automobile use. This consists of two streets that access the site from Reed Drive. Several smaller streets provide internal circulation throughout the site. These streets do not have marked lanes or curbs, and do not connect to adjacent streets outside the focus area.



Emerald Isle recently improved the public right-of-way north of the focus areas site with a paved sidewalk/biking trail. This trail will provide east-west linkages to areas along Emerald Drive. The Village West Focus Area does not currently offer internal sidewalks, greenways or trails for pedestrians and bicyclists. Pedestrians must utilize the street network to access the West Ocean Regional Access and other points within the focus area.

Emerald Isle recently improved the public right-of-way north of the focus areas site with a paved sidewalk/biking trail. This trail will provide east-west linkages to areas along Emerald Drive. The Village West Focus Area does not currently offer internal sidewalks, greenways or trails for pedestrians and bicyclists. Pedestrians must utilize the street network to access the West Ocean Regional Access and other points within the focus area.

Infrastructure

All lots in the Village West Focus Area have access to or are served by water and electrical utilities. Because Emerald Isle is not served by a central sewer system, uses within the focus area are served by either individual septic tanks, shared septic tanks, or package treatment plants. There are no plans to develop a centralized sewer system on the island, and it is expected that private systems will continue to serve the focus area into the future.

The majority of parcels within the focus area are not served by a stormwater management system. However, the new West Ocean Regional Access parking lot utilizes natural swales and landscaping to manage stormwater runoff from the site. The 2004 CAMA Land Use Plan identified stormwater drainage problems for areas west of the focus area, along Coast Guard Road and Reed Drive. Emerald Isle has adopted stormwater management performance and design standards for new development and redevelopment on the island, and requires a stormwater management plan prior to development to demonstrate that the standards will be met. Future redevelopment within the focus area will need to meet these standards.



Emerald Isle has adopted stormwater management performance and design standards for new development and redevelopment on the island, and requires a stormwater management plan prior to development to demonstrate that the standards will be met. Future redevelopment within the focus area will need to meet these standards.



Existing Conditions - Village West

Ownership Patterns

The Village West Focus Area consists of 21 individual parcels of land. Currently, the area is owned by 12 different property owners. Eight (8) parcels are owned individually and the remaining 13 parcels are owned by 4 different property owners. Mobile home sites are not owned individually by the mobile home users, and the mobile home parks are owned separately by three individual property owners.

Strengths

Village West Workshop participants identified several key strengths of the focus area. The key strengths identified were



the public beach access, the West Ocean Regional Access and parking lot, and the family entertainment uses. Much of the workshop discussion focused on the enhancement of these key features.

Concerns

Workshop participants also identified key areas of concern related to future development in the Village West Focus Area. These concerns include:

- Unattractive areas in the northern part of the focus area create the perception that the area is unsafe for pedestrians;
- The need for transitions from higher density commercial and entertainment uses to lower density residential neighborhoods on the east-side of the site; and
- Inappropriate development of single-family housing that could create conflicts with other higher intensity uses.



Opportunities for Improvement

Opportunities for enhancements and improvements within the focus area were also identified. These include:

- Redevelopment of the focus area with the Islander Hotel as the focal point of the site;
- Widening the public right-of-way along Islander Drive, and improving the streetscapes in the area with sidewalks, landscaping and lighting treatments;
- Providing additional evening-oriented entertainment and commercial opportunities;
- Improving commercial and industrial sites through landscaping and lighting; and
- Maximizing existing sewage package treatment plants by having new development utilize existing sewage treatment capacity.



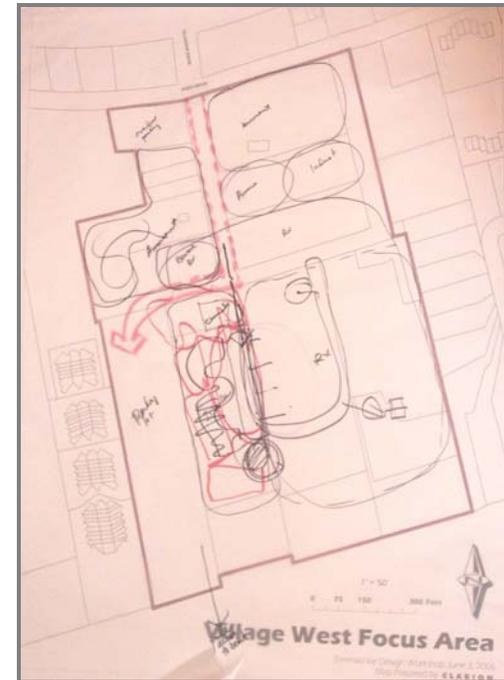
Design Concepts - Village West

Key Design Principles

The following key design principles for the Village West site were developed from the 2004 CAMA Land Use Plan and the input provided by participants of the Design Workshop. These key principles define the future vision for the site and should be incorporated into future plans. These key principles include:

- Enhancement of small-scale hospitality and entertainment uses with an eye towards making this area a major retail and entertainment center for the island.
- Islander Drive will continue to be the main commercial corridor leading through the site, as well as the main pedestrian access to the beach and the new public parking lot.
- Visitor accommodations are encouraged on this site and can draw more customers to proximate retail and entertainment uses.
- Development of the site into pedestrian-friendly blocks will reinforce the linkages between commercial and residential uses.
- Sidewalks and bike paths should connect neighborhoods to the commercial uses, public access points, and other frequent destinations.
- Multiple beach accesses should be maintained.

These design principles are discussed further on the following pages.



This sketch plan was used to discuss ideas for the Village West site at the Public Design Workshop.



Design Concepts - Village West

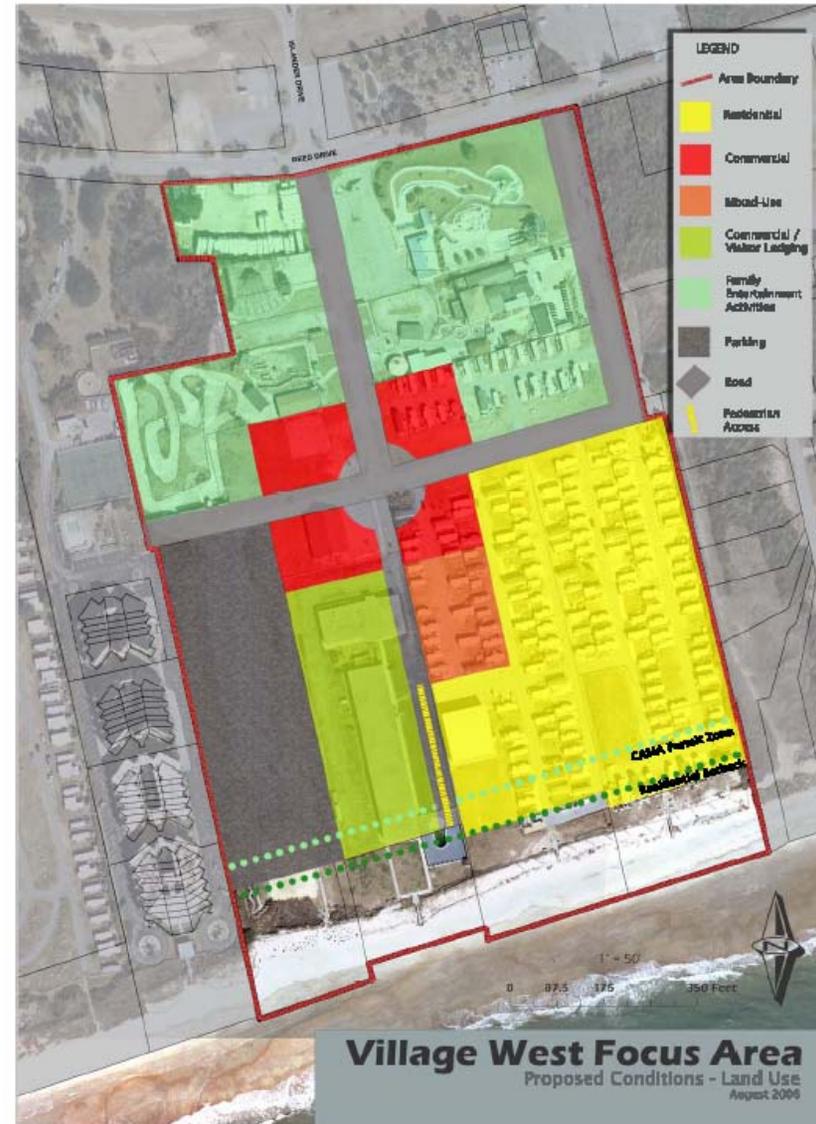
Village West Design Concept

The map to the right illustrates the vision for the Village West site. Islander Drive will serve as the main corridor from Reed Drive to the beach and regional beach access public parking lot. This corridor will provide a mixed-use pedestrian-oriented environment that will include retail commercial, entertainment, and residential opportunities, as depicted on the map. This area is a prime location for the development/redevelopment of visitor lodging accommodations and amusement activities.

The street that runs east-to-west should break up the site into neighborhood scale blocks. Parking for the commercial and residential uses should be located at the interior of these blocks. Ultimately, a fully built-out, mixed-use corridor is expected from Reed Drive to the beach. It is unlikely that all redevelopment will occur at one time. Accordingly, any redevelopment proposal should be planned and considered with anticipation of (and accommodation of) a fully redeveloped area from Reed Drive to the beach.

The eastern areas of the site should incorporate medium-density multi-family residential uses, as depicted by the yellow shading on the map. Commercial developments should provide necessary transitions to adjacent residential uses through the provision of landscaping, building setbacks, and other design techniques.

As mandated through CAMA regulations, only lower density residential uses will be located within the CAMA permit zone at the south end of the site.





Design Concepts - Village West

Stormwater and Infrastructure Elements

New development will require the provision of on-site sewer infrastructure, either by means of private package treatment plants or septic tanks. To the extent possible, plans for private package treatment plants should be developed to serve many structures.

All plans should incorporate on-site drainage/stormwater management systems in a manner that is consistent with CAMA regulations. Where possible, stormwater management systems should serve both to manage runoff, as well as provide aesthetic qualities. Examples of such systems include rain gardens and vegetated swales. All developments should respect CAMA permit zone and residential setbacks from dunes.



The stormwater management system incorporated in the new Western Regional Access public parking lot is a good example of stormwater retention that also provides attractive landscaping, and breaks the lot into smaller parking areas.

Design Concepts—Stormwater and Infrastructure Elements

- Sewer infrastructure should be incorporated into future development plans.
- All future developments must incorporate systems to manage drainage and stormwater runoff in a manner that is consistent with CAMA regulations.
- CAMA setbacks from dunes must be respected.



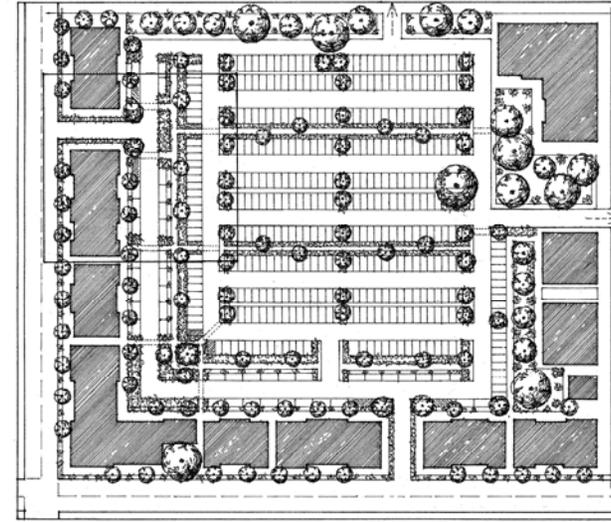
Design Concepts - Village West

Accessibility and Circulation

An important feature of a future entertainment center concept for Village West is the entrance to the area off of Reed Drive. The objective is to create an attractive roadway, lined with entertainment and retail uses, sidewalks on both sides of the street, on-street parking (either parallel or diagonal), and significant streetscape landscaping that incorporates stormwater management systems.

Along Islander Drive, there is great opportunity for a “Main Street” intersection with an existing east-west local street that could connect to the existing street system to the east of the Village West area and create a network of neighborhood-scale blocks. This Main Street could lead visitors from entertainment uses, to retail shopping sites, to hotel accommodations, and finally to the beach. The intersection should have buildings on each corner that are close to the sidewalk, with an emphasis on public or retail uses of those four corners to encourage pedestrian activity. Street landscaping should be designed to focus attention on this key new intersection.

Safe and accessible sidewalks and paths should be constructed as a component of all redevelopment projects with provisions for connections to existing pedestrian and bicycle systems. These pathways and sidewalks should be lined by street trees and appropriate street lighting. Multiple points of public access to the beach should be maintained on the site. And sidewalks and pathways should connect to these points of access. Provisions should be made for providing public parking for visitors accessing the beach.



This diagram demonstrates how multi-building retail/commercial developments can be organized to frame a street intersection, enclose off-street parking areas, and create an opportunity for seating or dining areas between buildings.

Design Concepts — Accessibility and Circulation

- Islander Drive will continue to serve as main entrance to site.
- Sidewalks and paths should be a component of all future development plans, including connections to existing pedestrian and bicycle systems.
- The street network should enhance the visitor experience by providing safe, pedestrian access to all features of the site.
- Multiple points of public beach access should be maintained.
- Ample public parking should be developed to provide access to the pier and beach.



Design Concepts - Village West

Overall Form

The new West Ocean Regional public parking lot is a critical component of these design concepts that has already been developed. Every effort should be made to provide and enhance pedestrian linkages to the visitors parking lot from area businesses.

An industrial, light manufacturing facility exists within this area. This use has been in place for some time and is still active and viable, but does not represent the best use of this strategically located land. As plans for development and redevelopment in the Village West site are considered, it would be desirable to find options for relocation of this use so that the land can be made available for use more in keeping with the concept of a mixed-use village made up of retail, residential, hospitality, and entertainment uses. As plans are drawn, it would be desirable to make the assumption that, ultimately, the industrial use will be relocated elsewhere.

Height limits have been an important consideration for Emerald Isle, and current height restrictions have served the community well. Within the Village West site, however, it may be possible to allow slightly taller buildings while maintaining the small-scale community character. Allowing an extra story on a building may prove to be desirable, if it can be used as an incentive to spur development of mixed use buildings with retail uses on the ground floor and residential uses on upper floors, along with site design considerations that set taller portions of the building back from the street frontage. Overall, the current height restrictions embedded in Emerald Isle's regulations should be maintained.

There is an opportunity for development/redevelopment across Reed Drive from the main portion of the Village West site. This potential development activity should be encouraged, with attention to site and building appearance from Reed Drive (located at this key gateway to the community), the pedestrian linkages across Reed Drive, and with a focus on retail and entertainment uses to the extent possible.

Design Concepts – Overall Form

- Linkages to new regional public parking are a key objective.
- It is likely that the industrial uses located on the site will be redeveloped into retail, residential, hospitality or entertainment uses.
- Flexibility in height limits may make redevelopment of the site into an entertainment center more viable.
- Redevelopment of the areas across Reed Drive should mirror development concepts set out for the Village West site, and should be incorporated into the overall plan through pedestrian linkages and complementary uses.



Design Concepts - Village West

Village West Design Concepts Summary

The Village West site represents a major opportunity for the Town of Emerald Isle. The vision in the CAMA Land Use Plan is to build on the existing family entertainment activities that exist in this area, and to look for opportunities to enhance and expand these opportunities. The Town's investment in a public parking lot is an anchor and a draw to the area. Hotel and entertainment, in combination with higher-density residential housing and retail uses, holds promise. Key design principles for the area include:

- Opportunities to improve access and circulation so that street reconfigurations can become part of redevelopment initiatives;
- Expansion of existing hotel, retail, and entertainment uses are encouraged and could be developed at a scale larger than currently exists to reinforce the area as an entertainment center for locals and visitors;
- Hotel uses on this site can be a larger scale than the Village East, in keeping with taller nearby buildings, as can retail and residential buildings;
- Encouragement and incentives for development of multi-family housing that should be developed in concert with retail uses as a series of mixed-use blocks; and
- Additional pedestrian/bike amenities should be provided as components of any new development or redevelopment proposals for this area, with attention to enhancing public access to the beach and a connection between the beach and entertainment facilities.

